



Your Inspection Report

2551 St-Denis
Montreal, QC



PREPARED FOR:
MR. JACK FROST

INSPECTION DATE:
Thursday, November 5, 2009

PREPARED BY:
Robert Zbikowski, A.I.B.

ProTech IB
Building Inspection & Consulting Services

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February 22, 2010

Dear Mr. Jack Frost,

RE: Report No. 1170, v.2
2551 St-Denis
Montreal, QC

Thank you for choosing us to perform your building inspection. The inspection itself and the attached report comply with the requirements of the Standards of Practice of the Quebec Association of Building Inspectors. This document provided to you prior to the inspection for your perusal, defines the scope of a residential building inspection.

The report has been prepared for the exclusive use of our client. No use by third parties is intended. We will not be responsible to any parties for the contents of the report, other than the party named herein . The report is effectively a snapshot of the house, recording the conditions on a given date and time. The report itself is copyrighted, and may not be used in whole or in part without our express written permission.

We have included an executive summary at the beginning of the report to help provide a quick overview of the main issues identified, however the summary is not exhaustive and we recommend you read the entire report to gain full knowledge of the building systems and condition.

We are always available to answer any questions you may have concerning the inspection or the report.

Sincerely,

Robert Zbikowski, A.I.B.
on behalf of
ProTech IB, a division of R. Stone Agency Inc.

EXECUTIVE SUMMARY

2551 St-Denis, Montreal, QC November 5, 2009

EXECUTIVE S

EXTERIOR

ELECTRICAL

HEATING

COOLING

PLUMBING

INTERIOR

REFERENCE

This is a summary of the main issues identified during the inspection. You will find specific details by clicking on the coloured tabs at the top of the report.

Electrical

SERVICE BOX, GROUNDING AND PANEL \ Distribution panel

Condition: • [Openings in panel](#)

We observed some openings in the electrical panel cover where the normal plastic covers are missing. These should be covered as a safety measure since the main bus bars inside carry high electrical amperage.

Implication(s): Electric shock | Fire hazard

Location: Second Floor Utility Room

Task: Correct

Time: Immediate

DISTRIBUTION SYSTEM \ Outlets

Condition: • [Ground Fault Interrupter \(GFI\) needed](#)

A test of the exterior electrical outlet on the exterior deck revealed the unit is not protected with a ground fault interrupter device.

One should be installed for safety reasons.

Implication(s): Electric shock

Location: Rear Exterior Deck

Task: Provide

Time: Less than 1 year

Plumbing

FIXTURES AND FAUCETS \ Faucet

Condition: • [Loose](#)

Noted the faucet handle for the kitchen sink has become loose.

Tightening the screw inside the handle top will normally fix the problem.

Implication(s): Equipment failure

Location: First Floor Kitchen

Task: Repair

Time: Immediate

Interior

FLOORS \ Subflooring

Condition: • [Sagging](#)

Observed the floors are not perfectly level particularly on the main floor area.

This may be caused by poor workmanship or the use of undersize materials at the time of construction or due to wood shrinkage or settlement occurring after construction.

The situation is not easily correctable, fortunately the variation is minimal and should not result in any loss of use.

Location: Various

EXECUTIVE SUMMARY

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WALLS \ Plaster or drywall

Condition: • [Cracked](#)

Observed two areas where cracks were present:

1- the master bedroom closet has one crack that appears to extend from a bulkhead about 24 inches.

The crack is very narrow and should simply be repaired before re-painting.

2- A second crack is visible in the left wall of the dining room. This area has been repaired to reinforce a lack of support for a beam located above. Based on the seller's declaration during the inspection the reinforcing was performed by the builder and movement has stopped. The newly formed crack is extremely small and should not pose a problem. Simply repair the wall surface before re-painting.

Implication(s): Cosmetic defects

Location: Various

Task: Repair

Time: When remodelling

CEILINGS \ General

Condition: • [Water damage](#)

Observed water damage to the garage ceiling.

Water was still leaking at the time of inspection and appeared to be coming from the unit above.

All of the affected drywall covering will need to be removed and replaced.

Implication(s): Cosmetic defects | Chance of movement

Location: Garage

Task: Further evaluation

Time: Immediate

DOORS \ Hardware

Condition: • Latch not effective on exterior door

Noted the door latches for the rear exterior storage compartments are rusted and no longer functional. The compartments should be locked since they are accessible from the exterior.

The door knobs/latches should be replaced with devices designed for outdoor use and exposure to the elements.

Implication(s): Poor security

Location: Rear Exterior Deck

Task: Replace

Time: Discretionary

GARAGE \ Vehicle door operators

Condition: • Observed the garage door opener was not in service at the time of inspection.

The braces holding the opener have become detached and the unit will need to be secured properly to the building structure before it can be used.

Location: Garage

Task: Repair

Time: Immediate

EXTERIOR

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Recommendations

PORCHES, DECKS, STEPS, PATIOS AND BALCONIES \ Floors

Condition: • [Paint or stain needed](#)

An examination of the wood deck surface indicates it is still in good condition, however the protective coating is beginning to wear off and needs to be refreshed within the next year.

Care should be taken when applying new stain/sealer not to spill any material that could damage or affect the modified bitumen roof covering underneath.

Implication(s): Cosmetic defects | Shortened life expectancy of material

Location: Rear Exterior Deck

Task: Provide

Time: Less than 1 year



Rear deck wood flooring

Description

Service entrance cable and location:

- [Not visible](#)

The main electrical entrance , meter and disconnect switch are not located in the condo unit. A main electrical room serving the building is likely located at ground level or near the garages.

System grounding material and type: • [Not visible](#)

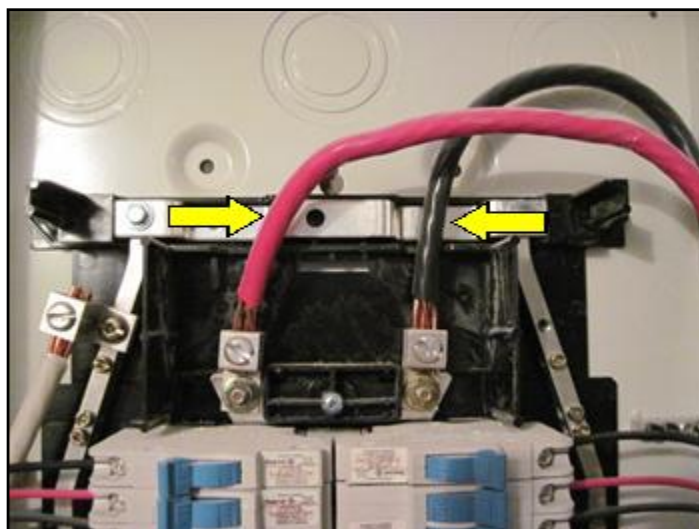
Distribution panel rating:

- [150 Amps](#)

A 32 circuit panel normally is designed to handle a 150 amp entrance. The wire size coming into the panel appears to be 2AWG that is normally rated for 100 amps.

It is not unusual to have a distribution panel that can handle more than the entrance capacity, this allows a better distribution of electrical load in the panel.

However, only an electrician can determine how many additional circuits can be added without exceeding the maximum entrance capacity.



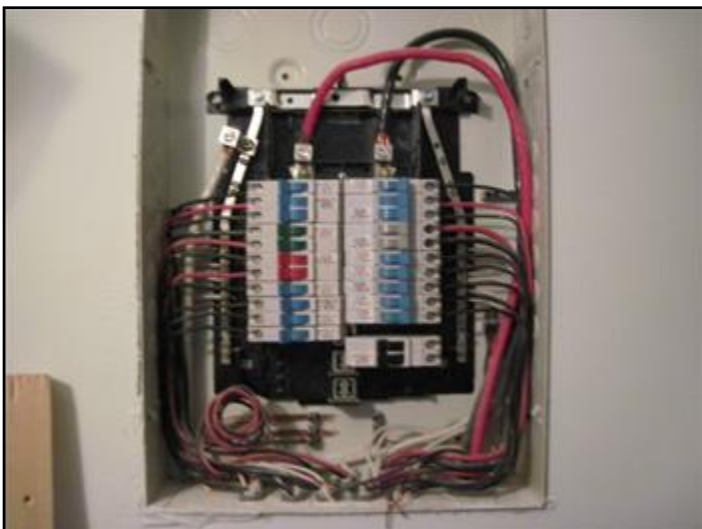
Service wires appear to be 2 AWG

Distribution panel type and location:

- [Breakers - utility room](#)

The condo unit is equipped with a Federal Pioneer Stab-Lok 32 circuit electrical breaker panel. 21 circuits are currently in use leaving 11 available for other electrical needs.

We did observe one breaker installed that is not in service and one set of wires that is not connected. These are possibly optional installations provided for other potential uses.



View inside electrical panel



Breaker installed but not in use

- Distribution wire material and type: • [Copper - non-metallic sheathed](#)
- Type and number of outlets: • [Grounded - typical](#)
- Circuit interrupters: Ground Fault (GFCI) & Arc Fault (AFCI): • [GFCI - bathroom](#)
- Smoke detectors: • [Present](#)

Recommendations

SERVICE BOX, GROUNDING AND PANEL \ Distribution panel

Condition: • [Openings in panel](#)

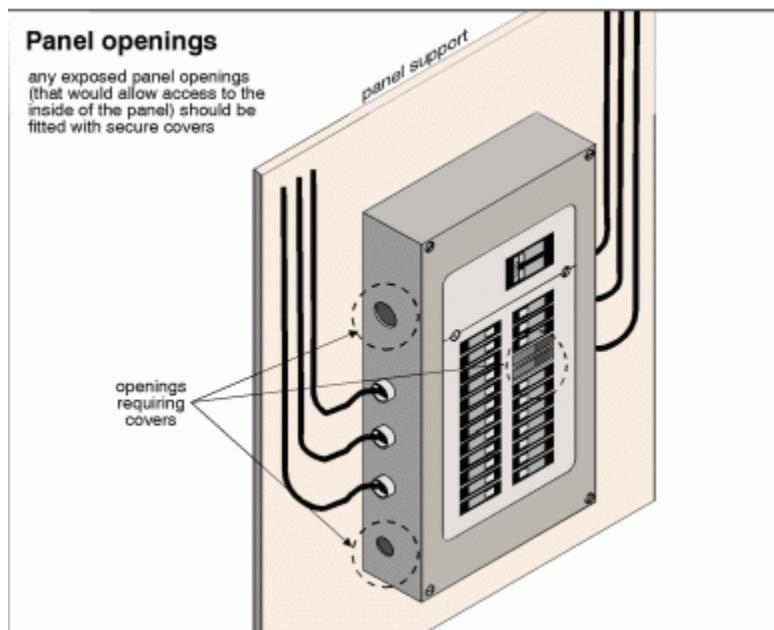
We observed some openings in the electrical panel cover where the normal plastic covers are missing. These should be covered as a safety measure since the main bus bars inside carry high electrical amperage.

Implication(s): Electric shock | Fire hazard

Location: Second Floor Utility Room

Task: Correct

Time: Immediate



[Click on image to enlarge.](#)



Open areas in panel cover

DISTRIBUTION SYSTEM \ Outlets

Condition: • [Ground Fault Interrupter \(GFI\) needed](#)

A test of the exterior electrical outlet on the exterior deck revealed the unit is not protected with a ground fault interrupter device.

One should be installed for safety reasons.

Implication(s): Electric shock

Location: Rear Exterior Deck

Task: Provide

Time: Less than 1 year

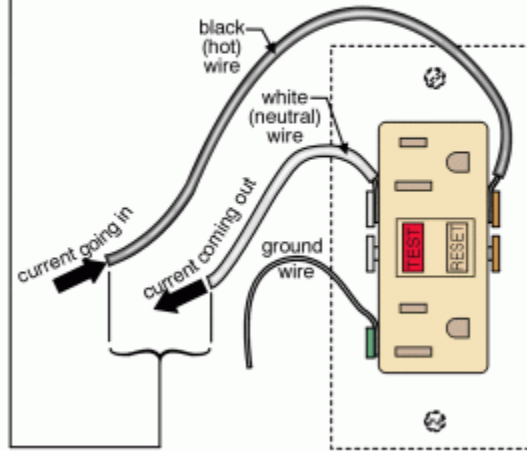
Ground fault interrupter

the GFI circuitry within the outlet checks constantly for a difference between the current in the black and white wires

if there is a difference (even as little as 5 milliamps), there is a current leak (possibly through your body) and the GFI shuts down the receptacle and other receptacles downstream

note:

if the GFI is in the panel, the entire circuit will be shut down



[Click on image to enlarge.](#)



Test indicates absence of protection

Description

General: • A heating source is present in every room.

Fuel/energy source: • [Gas](#)

System type: • [Furnace](#)

Heat distribution:

• [Ducts and registers](#)

Noted there are return registers installed in every room.

This helps provide better airflow and reduce air balancing problems when room doors are closed.

Approximate capacity: • [50,000 BTU/hr](#)

Efficiency:

• [High-efficiency](#)

The furnace is a high efficiency unit. Model no: NTC6050FBG1, serial no: L021031745

The unit was tested and the exhaust fan for combustion gases operated normally as well as the burners and air circulation system.

No defects or anomalies visible.



Gas fired forced air furnace



View of blower and burner chamber

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View of air blower and filter chamber

Approximate age: • [7 years](#)

Failure probability: • [Low](#)

Main fuel shut off at: • Utility room

Chimney liner: • [Metal](#)

Combustion air source:

- Outside

Observed the presence of a combustion air duct in the utility room.

Its purpose is to provide exterior air for the combustion devices and avoid combustion gases from being pulled inside the condo when other air extraction units are in use (dryer/bathroom fan/kitchen range hood).

Recommendations

General

- We recommend the installation of a combination gas/carbon monoxide detector on the second floor (mezzanine) level. This is because there are two gas fired units located there (water heater and gas furnace) and a detector is an important safety device to help protect the occupants.

Location: Second Floor

Task: Provide

Time: Discretionary

GAS FURNACE \ Mechanical air filter

Condition: • The furnace is currently installed with a high efficiency disposable air filter.

The filter is relatively new and clean and should be replaced every three months for optimal performance.

Location: Second Floor Utility Room

Task: Replace

Time: Regular maintenance

HEATING

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EXECUTIVE S

EXTERIOR

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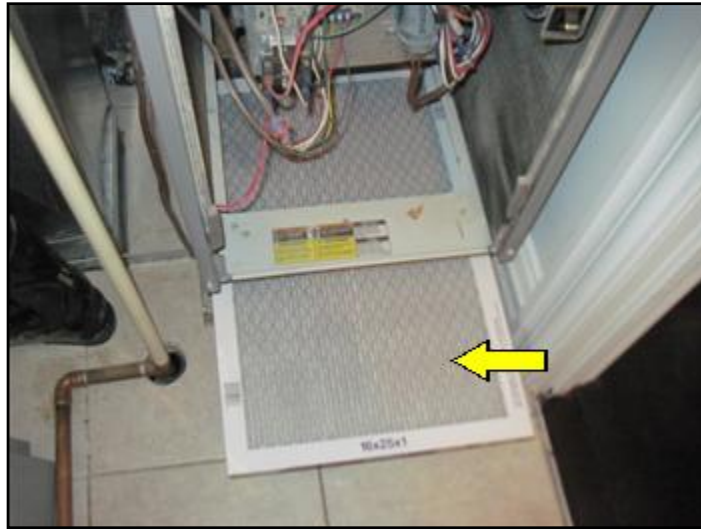
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3M Filtrete High Performance Air Filter

COOLING & HEAT PUMP

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Description

Air conditioning type:

- [Air cooled](#)

The unit model no is: CAC024AKA1, serial no: L022622283



AC condenser unit on rear exterior deck

Cooling capacity: • [24,000 BTU/hr](#)

Compressor approximate age: • 7 years

Typical life expectancy:

- 10 to 15 years

Life expectancy in Quebec tends to be in the 15 to 20 year range for AC units that only function in the summer.

Failure probability: • [Low](#)

Limitations

Inspection limited/prevented by:

- Low outdoor temperature

Air conditioning units can be damaged if operated in cold temperatures.

Description

General: • A representative sample of plumbing fixtures were verified and tested and found to function within normal parameters with the exception of those noted.

Water supply source: • Public

Supply piping in house:

- [Plastic](#)

The water supply is a combination of 3/4" and 1/2" PEX pipe.

Main water shut off valve at the:

- Utility room

The main water valves for the condo are located above the hot water heater.

Water flow (pressure): • [Functional](#)

Water heater fuel/energy source:

- [Gas](#)



Water heater temperature control



Gas fired water heater in utility room

Water heater type: • The water heater is equipped with required pressure safety release device and tubing.

Water heater type: • Owned

Tank capacity: • [40 gallons](#)

Water heater approximate age: • 7 years

Water heater failure probability:

- [Low](#)

The hot water heater was tested and functioned normally.

No defects or anomalies visible.

Waste disposal system: • [Public](#)

Waste piping in house: • [ABS plastic](#)

Floor drain location:

- Near water heater

The floor drain is located inside the utility room and is designed to capture any water leakage from the hot water heater as well as condensate coming from the air conditioner evaporator.



Floor drain installed in utility room

Limitations

Items excluded from a home inspection: • Concealed plumbing

Recommendations

FIXTURES AND FAUCETS \ Faucet

Condition: • [Loose](#)

Noted the faucet handle for the kitchen sink has become loose.

Tightening the screw inside the handle top will normally fix the problem.

Implication(s): Equipment failure

Location: First Floor Kitchen

Task: Repair

Time: Immediate

PLUMBING

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Kitchen faucet handle loose

Description

General: • A representative number of kitchen cabinet doors and drawers were verified and found to be in good working order.

Major floor finishes:

- [Hardwood](#)
- [Ceramic](#)

Ceramic floor covering installed in the bathroom and kitchen.

No defects or anomalies visible.

Major wall and ceiling finishes: • [Gypsum board](#)

Windows: • A representative sample of windows were tested and found to be in good condition and function properly.

No defects or anomalies observed.

Windows: • [Casement](#) • Vinyl

Glazing: • [Double](#)

Exterior doors - type/material: • All exterior doors found to be in good condition.

No defects or anomalies noted.

Exterior doors - type/material: • [Sliding glass](#) • Metal-clad • Garage door - metal

Party walls:

- [Masonry](#)

Only a small section of dividing wall was visible at the rear inside a storage compartment.



View of concrete block dividing wall

Range fuel: • Electricity

Appliances:

- Range hood
- Central vacuum

Piping appears to be installed and prepared to receive a central vacuum power unit.



Hose connection for central vac missing cover



Pipe connection for central vac power unit

Laundry facilities: • All required laundry installations are present.

Note: The laundry installations are located in the hallway of the main floor.

Noted the installation of gas piping to supply dryer if desired.

No defects or anomalies visible.



Washer installation



Dryer installation

Limitations

General: • Laundry installations confirmed present but not tested in service.

Garage door opener:

• Not tested

The garage door opener could not be tested as the unit is under repair.

Recommendations

FLOORS \ General

Condition: • [Mechanical damage](#)

Observed some indentations in the hardwood floor covering on the mezzanine area.

These can be repaired but are not very visible unless exposed to close scrutiny.

Implication(s): Cosmetic defects | Trip or fall hazard

Location: Second Floor

Task: Repair

Time: Discretionary

FLOORS \ Subflooring

Condition: • [Sagging](#)

Observed the floors are not perfectly level particularly on the main floor area.

This may be caused by poor workmanship or the use of undersize materials at the time of construction or due to wood shrinkage or settlement occurring after construction.

The situation is not easily correctable, fortunately the variation is minimal and should not result in any loss of use.

Location: Various



Floor level dips towards hallway

WALLS \ Plaster or drywall

Condition: • [Cracked](#)

Observed two areas where cracks were present:

1- the master bedroom closet has one crack that appears to extend from a bulkhead about 24 inches. The crack is very narrow and should simply be repaired before re-painting.

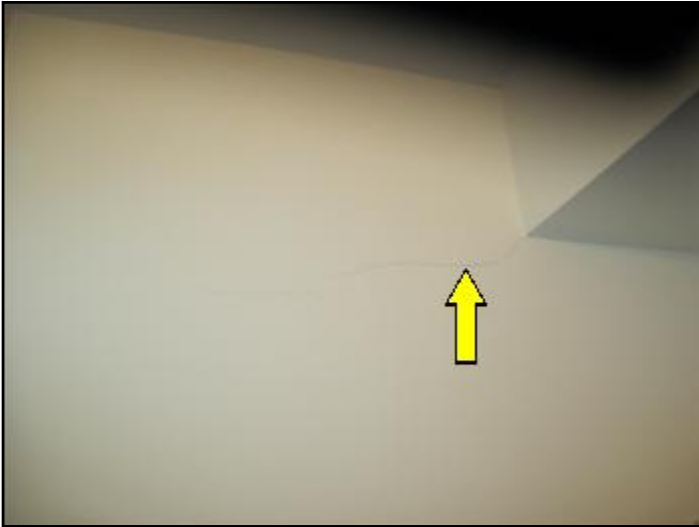
2- A second crack is visible in the left wall of the dining room. This area has been repaired to reinforce a lack of support for a beam located above. Based on the seller's declaration during the inspection the reinforcing was performed by the builder and movement has stopped. The newly formed crack is extremely small and should not pose a problem. Simply repair the wall surface before re-painting.

Implication(s): Cosmetic defects

Location: Various

Task: Repair

Time: When remodelling



Crack in master bedroom closet



Crack below mezzanine on left wall

CEILINGS \ General

Condition: • [Water damage](#)

Observed water damage to the garage ceiling.

Water was still leaking at the time of inspection and appeared to be coming from the unit above.

All of the affected drywall covering will need to be removed and replaced.

Implication(s): Cosmetic defects | Chance of movement

Location: Garage

Task: Further evaluation

Time: Immediate

INTERIOR

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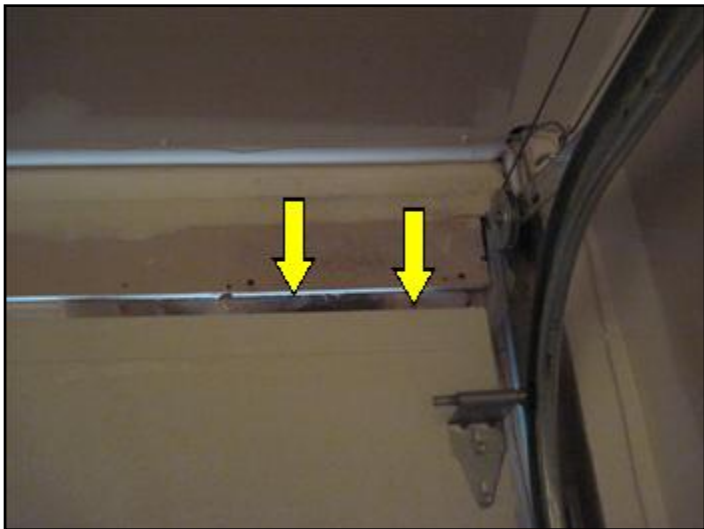
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Main water leak in garage ceiling



Presence of mould on garage ceiling



Water leak is traveling to top of garage door

DOORS \ Hardware

Condition: • Latch not effective on exterior door

Noted the door latches for the rear exterior storage compartments are rusted and no longer functional. The compartments should be locked since they are accessible from the exterior.

The door knobs/latches should be replaced with devices designed for outdoor use and exposure to the elements.

Implication(s): Poor security

Location: Rear Exterior Deck

Task: Replace

Time: Discretionary



Door latch jammed 2nd floor



Door latch jammed main floor

GARAGE \ Vehicle door operators

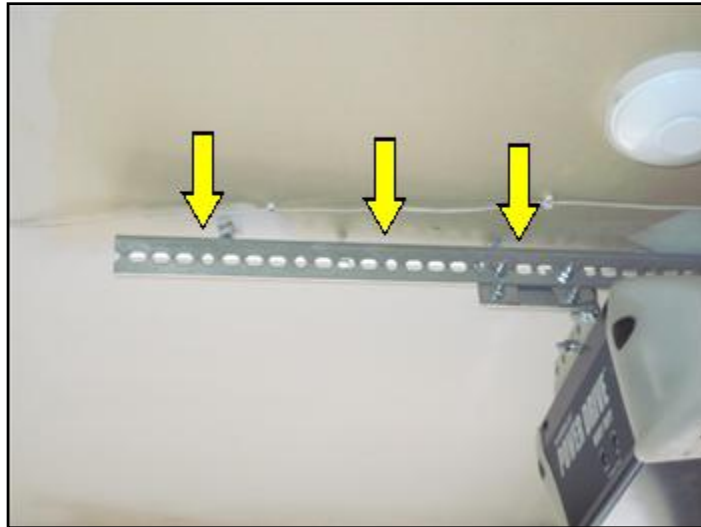
Condition: • Observed the garage door opener was not in service at the time of inspection.

The braces holding the opener have become detached and the until will need to be secured properly to the building structure before it can be used.

Location: Garage

Task: Repair

Time: Immediate



Braces have become detached on door opener

END OF REPORT

The links below connect you to a series of documents that will help you understand your home and how it works. The body of the report contains specific information about your home. Many report items have related links that provide you more information about that particular component or issue.

This Library is a broad reference tool. For example, if you want to know the difference between asphalt shingles and wood shingles, you can look in here. If you have a conventional furnace and are trying to decide whether to upgrade to a mid-efficiency or high-efficiency furnace, this information may be helpful. If your home does not have air conditioning, but you are thinking about adding it, there is helpful information for you in here.

The Library is broken into nine house systems: Roofing, Exterior, Structure, Electrical, Heating, Cooling, Insulation, Plumbing and Interior. Click on any link to read about that system.

- [1. Roofing and Chimney](#)
- [2. Exterior](#)
- [3. Structure](#)
- [4. Electrical](#)
- [5. Heating](#)
- [6. Cooling](#)
- [7. Insulation](#)
- [8. Plumbing](#)
- [9. Interior](#)