



Your Inspection Report

1252 King Avenue
Cote St-Luc, QC



PREPARED FOR:
MR. JOHN CONWAY

INSPECTION DATE:
Friday, October 30, 2009

PREPARED BY:
Robert Zbikowski, A.I.B.

ProTech IB
Building Inspection & Consulting Services

ProTech IB, a division of R. Stone Agency Inc.
63 Alie Street,, Suite 101
Dollard des Ormeaux, QC H9A 1G9

514-992-3537
Fax: 866-812-7689
www.protechib.ca
info@protechib.ca

February 22, 2010

Dear Mr. John Conway,

RE: Report No. 1168, v.4
1252 King Avenue
Cote St-Luc, QC

Thank you for choosing us to perform your building inspection. The inspection itself and the attached report comply with the requirements of the Standards of Practice of the Quebec Association of Building Inspectors. This document provided to you prior to the inspection for your perusal, defines the scope of a residential building inspection.

The report has been prepared for the exclusive use of our client. No use by third parties is intended. We will not be responsible to any parties for the contents of the report, other than the party named herein . The report is effectively a snapshot of the house, recording the conditions on a given date and time. The report itself is copyrighted, and may not be used in whole or in part without our express written permission.

We have included an executive summary at the beginning of the report to help provide a quick overview of the main issues identified, however the summary is not exhaustive and we recommend you read the entire report to gain full knowledge of the building systems and condition.

We are always available to answer any questions you may have concerning the inspection or the report.

Sincerely,

Robert Zbikowski, A.I.B.
on behalf of
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EXECUTIVE SUMMARY

1252 King Avenue, Cote St-Luc, QC October 30, 2009

Report No. 1168, v.4

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This is a summary of the main issues identified during the inspection. You will find specific details by clicking on the coloured tabs at the top of the report.

Roofing

SLOPED ROOF FLASHINGS \ Drip edge flashings

Condition: • [Not continuous](#)

Noted a poor drip edge flashing installation at the rear,

This is allowing water to come into contact with the wood fascia and there is evidence the wood has begun to rot.

Implication(s): Chance of water damage to contents, finishes and/or structure

Location: Rear Exterior Roof

Task: Repair

Time: Immediate

FLAT ROOFING \ Modified bitumen

Condition: • [Near end of life expectancy](#)

The roof membrane has been covered with a liquid film coating (probably elastomeric) to extend the roof membrane life span.

The portion of membrane that has not been coated suggests the original membrane is modified bitumen with ceramic granules too protect against UV damage.

The exact age of the membrane is unconfirmed with no documents available to verify its age.

Based on the visual observation made on the roof it is reasonable to deduce it is approaching the end of its normal life span (20 years).

Implication(s): Chance of water damage to contents, finishes and/or structure

Location: Throughout Roof

Task: Replace

Time: Unpredictable

Exterior

ROOF DRAINAGE \ Downspouts

Condition: • [Downspouts end too close to building](#)

Observed two gutter downspouts near the median wall in front that should be extended to move water away from the foundation.

Implication(s): Chance of water damage to contents, finishes and/or structure

Location: Front Exterior

Task: Improve

Time: Immediate

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LANDSCAPING \ Lot grading

Condition: • [Improper slope](#)

Observed the lot grading around the house favours water being drawn towards the foundations.

This can cause high humidity, water infiltration and mould problems in the basement over time.

See recommended guidelines for proper lot grading.

Implication(s): Chance of water damage to contents, finishes and/or structure

Location: Various Exterior

Task: Correct

Time: Less than 1 year

LANDSCAPING \ Walk and driveway

Condition: • [Improper slope or drainage](#)

Noted the driveway slope is such that water is being drawn toward the end of the garage door.

This area has settled and is causing water to pool and sink into the opening between the asphalt and the concrete slab.

Water saturation can cause damage to the slab through frost heaving.

Recommend correcting the slope and sealing the gap in the interim until the driveway is redone.

Implication(s): Chance of water damage to contents, finishes and/or structure

Location: Front Exterior Garage

Task: Correct

Time: Less than 1 year

Structure

FOUNDATIONS \ Foundation

Condition: • Typical minor cracks

Noted a total of 5 cracks in the foundation.

One of the cracks was visible from the interior in the furnace room and we were able to see evidence of an epoxy injection repair.

Recommend sealing the other cracks to reduce the risk of water infiltration into the basement.

Location: Various Exterior

Task: Repair

Time: Less than 1 year

Electrical

SERVICE DROP AND SERVICE ENTRANCE \ Service conductors

Condition: • Observed the installation of a steel cable attached to the mast to help support the weight and tension of the electrical cable from across the street.

The steel cable is corroded and its attachment should be monitored and improved as necessary.

Location: Exterior Roof

Task: Monitor

Time: Ongoing

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SERVICE BOX, GROUNDING AND PANEL \ Service box

Condition: • [Rust](#)

Observed traces of corrosion in the electrical conduit and main disconnect box.

Suspect there may have been water infiltration from the masthead on the roof inside the conduit at some point.

The current installation did not reveal any abnormalities with the roof installation that would contribute to water infiltration.

Implication(s): Electric shock | Increased fire hazard

Location: Garage

Task: Monitor

Time: Ongoing

SERVICE BOX, GROUNDING AND PANEL \ Distribution panel

Condition: • [Panel crowded](#)

The distribution panel has a capacity for a maximum of 20 circuit breakers, this would normally be installed to service an 100 amp electrical entrance.

A 40 circuit panel would be the size required to properly match with the main entrance of 200 amps.

Implication(s): Electric shock | Fire hazard

Location: Garage

Task: Replace

Time: Discretionary

Condition: • [Double taps](#)

Noted three double tapped circuits in the electrical distribution panel.

This is due to the limited capacity/number of circuits available.

Implication(s): Fire hazard

Location: Garage

Task: Monitor

Time: Ongoing

DISTRIBUTION SYSTEM \ Outlets

Condition: • [GFI test faulty](#)

The GFI devices in the bathrooms failed to trip when put under test.

Recommend an electrician verify the devices and their installation.

Implication(s): Electric shock

Location: Various Bathroom

Task: Further evaluation

Time: Immediate

Heating

OIL FURNACE \ Oil tank

Condition: • The oil tank data plate indicates it was manufactured in 1995 and has a rated capacity of 910 litres.

Recommend you contact your insurer to find out their requirements for insuring oil tanks and their age limits.

Location: Rear Basement Furnace Room

Task: Further evaluation

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Time: Immediate

CHIMNEY AND VENT \ Masonry chimney cap

Condition: • [Missing](#)

Noted the absence of a chimney cap on the furnace chimney flue.

Also found traces of water infiltration at the base of the chimney clean-out due to the lack of a cap.

Implication(s): Chance of water damage to contents, finishes and/or structure | Shortened life expectancy of material

Location: Exterior Roof

Task: Provide

Time: Immediate

Cooling & Heat Pump

HEAT PUMP \ Condensate drain line

Condition: • [Improper discharge point](#)

Observed the evaporator condensate drain line is discharging into a hole made in the concrete floor slab.

This is not recommended as it can cause unwanted excess humidity in the basement and create other problems.

Implication(s): Chance of water damage to contents, finishes and/or structure | Damage to equipment | Contaminants may enter house air

Location: Basement Furnace Room

Task: Correct

Time: Before next summer

Plumbing

WASTE PLUMBING \ Drain piping - performance

Condition: • [Rust](#)

An examination of the sewer backflow prevention device reveals the unit is old and quite corroded.

Corrosion can cause the device to malfunction when needed.

Recommend having a plumber examine the device and replace if needed.

Implication(s): Sewage entering the house

Location: Basement

Task: Further evaluation

Time: Immediate

WASTE PLUMBING \ Floor drain

Condition: • [Grate missing, rusted or obstructed](#)

Recommend the installation of a grate on the basement floor drain.

Implication(s): Chance of water damage to contents, finishes and/or structure | Trip or fall hazard

Location: Basement Furnace Room

Task: Provide

Time: Immediate

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FIXTURES AND FAUCETS \ Faucet

Condition: • [Drip, leak](#)

Observed the sink faucet in the basement bathroom is leaking.

Have the unit serviced by a plumber.

Implication(s): Chance of water damage to contents, finishes and/or structure

Location: Basement Bathroom

Task: Repair

Time: Immediate

Condition: • [Loose](#)

Observed the cold water faucet handle on the sink faucet is not properly secured.

Implication(s): Equipment failure

Location: Second Floor Main Bathroom

Task: Repair

Time: Immediate

Interior

WINDOWS \ General

Condition: • [Original lower quality units](#)

Observed the basement windows are lower quality units that should be replaced.

Implication(s): Increased heating costs | Increased maintenance costs

Location: Throughout Basement

Task: Replace

Time: Discretionary

STAIRS \ Handrails

Condition: • [Missing](#)

Noted a handrail is missing in one of the basement staircases.

Implication(s): Fall hazard

Location: Basement Staircase

Task: Provide

Time: Immediate

EXHAUST FANS \ Exhaust duct

Condition: • [Termination point not found](#)

Noted exhaust fans installed in the bathrooms but no clear exhaust point to the exterior.

Further examination should be undertaken to ensure interior air is not being vented into a cavity where damage can be caused from condensation.

Implication(s): Chance of condensation damage to finishes and/or structure

Location: Various

Task: Further evaluation

Time: Immediate

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Description

Sloped roofing material: • [Modified bitumen membrane](#)

Probability of leakage:

• Medium

Found no evidence of water infiltration but believe the roof membrane to be near the end of its normal life expectancy.

Limitations

Inspection performed: • By walking on roof

Recommendations

SLOPED ROOF FLASHINGS \ Drip edge flashings

Condition: • [Not continuous](#)

Noted a poor drip edge flashing installation at the rear,

This is allowing water to come into contact with the wood fascia and there is evidence the wood has begun to rot.

Implication(s): Chance of water damage to contents, finishes and/or structure

Location: Rear Exterior Roof

Task: Repair

Time: Immediate



Water penetrating wood exposed



Exposed fascia on rear section

FLAT ROOFING \ Modified bitumen

Condition: • [Near end of life expectancy](#)

The roof membrane has been covered with a liquid film coating (probably elastomeric) to extend the roof membrane life span.

The portion of membrane that has not been coated suggests the original membrane is modified bitumen with ceramic granules to protect against UV damage.

The exact age of the membrane is unconfirmed with no documents available to verify its age.

Based on the visual observation made on the roof it is reasonable to deduce it is approaching the end of its normal life

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span (20 years).

Implication(s): Chance of water damage to contents, finishes and/or structure

Location: Throughout Roof

Task: Replace

Time: Unpredictable



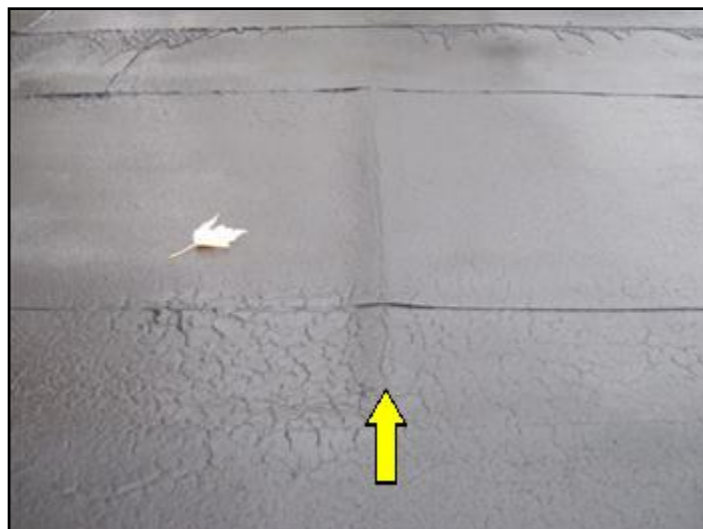
View of roof surface



View of roof surface



Ridging visible



Ridging visible

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View of membrane without coating



View of roof surface

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Description

General: • Most exterior surfaces and systems were found to be in good condition. There are some improvements/repairs required that are highlighted in the recommendation section.

Gutter & downspout material: • [Plastic](#)

Gutter & downspout type: • [Eave mounted](#)

Gutter & downspout discharge: • [Above grade](#)

Lot slope: • [Towards house](#)

Wall surfaces - masonry: • [Brick](#) • [Stone](#)

Wall surfaces : • Fascia is protected with aluminum.

Wall surfaces : • [Metal siding](#)

Driveway: • Asphalt

Walkway: • Concrete

Deck: • Ground level • Wood • No performance issues were noted

Exterior steps: • Concrete • Stone

Limitations

Upper floors inspected from: • Ground level

Recommendations

ROOF DRAINAGE \ Downspouts

Condition: • [Downspouts end too close to building](#)

Observed two gutter downspouts near the median wall in front that should be extended to move water away from the foundation.

Implication(s): Chance of water damage to contents, finishes and/or structure

Location: Front Exterior

Task: Improve

Time: Immediate

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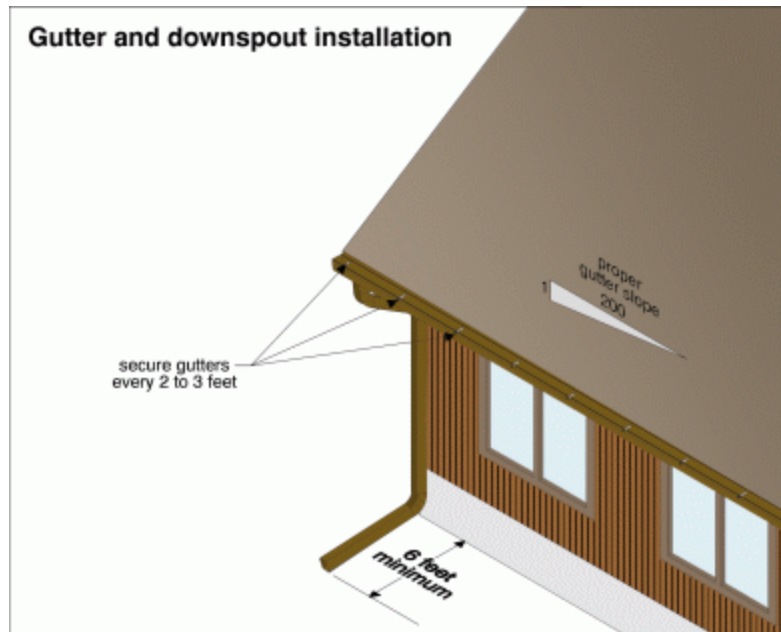
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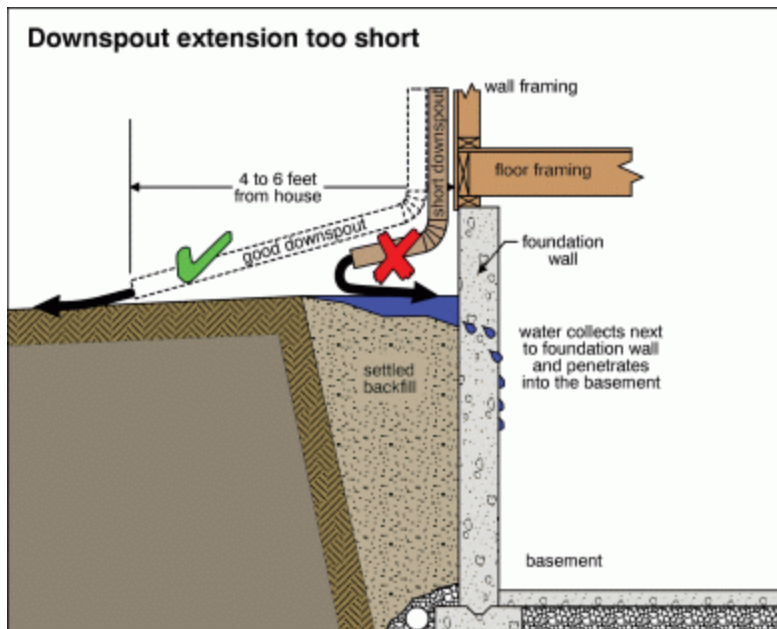
REFERENCE

Gutter and downspout installation

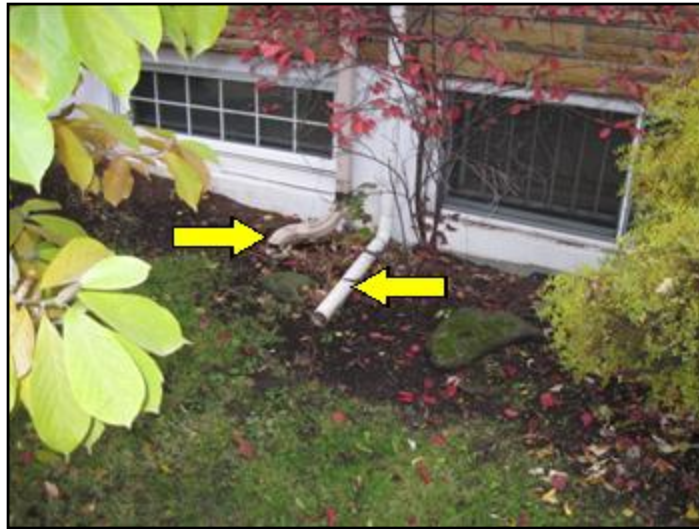


[Click on image to enlarge.](#)

Downspout extension too short



[Click on image to enlarge.](#)



Downspouts in front too close to foundation

ROOF DRAINAGE \ Flat roof drains

Condition: • [Clogged](#)

Observed a roof drain that was completely clogged at the rear of the building.

The building is surrounded by large trees and the roof design contributes to debris accumulation.

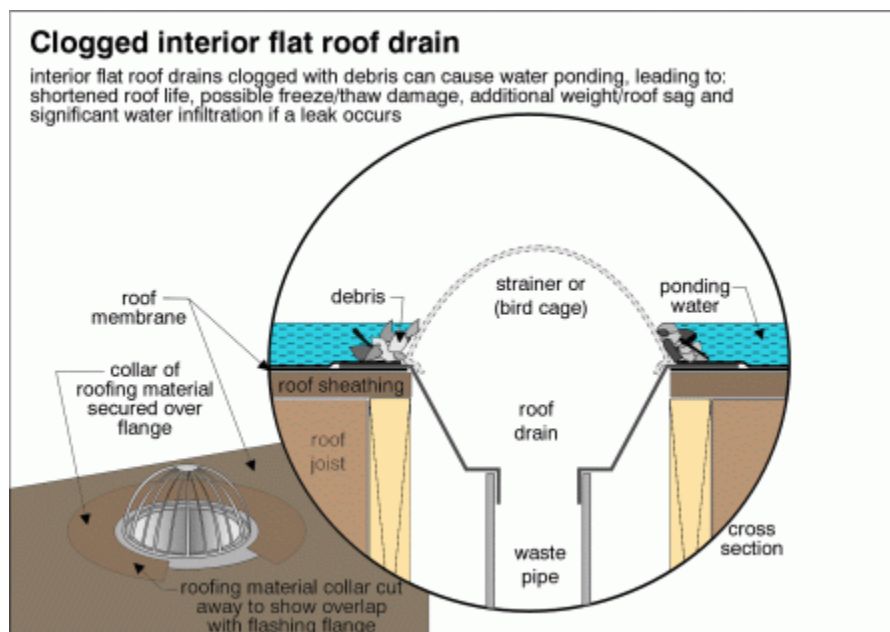
Recommend cleaning the roof and drain from all debris at least twice a year.

Implication(s): Chance of water damage to contents, finishes and/or structure

Location: Rear Exterior Roof

Task: Clean

Time: Regular maintenance



[Click on image to enlarge.](#)

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Clogged roof drain



Debris accumulation on roof

WALLS \ Flashings and caulking

Condition: • [Caulking missing or ineffective](#)

Observed some areas where the caulking has dried and no longer provides an effective seal.

All joints should be examined and replaced as necessary as part of normal home maintenance.

Implication(s): Chance of water damage to contents, finishes and/or structure

Location: Various Exterior

Task: Repair

Time: Less than 1 year



Caulking joint due for replacement front wall

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PORCHES, DECKS, STEPS, PATIOS AND BALCONIES \ Steps and landings

Condition: • [Steps or landings settling or heaving](#)

Observed some settlement of the front walkway.

This has caused a gap to open up between the walkway and the stairs.

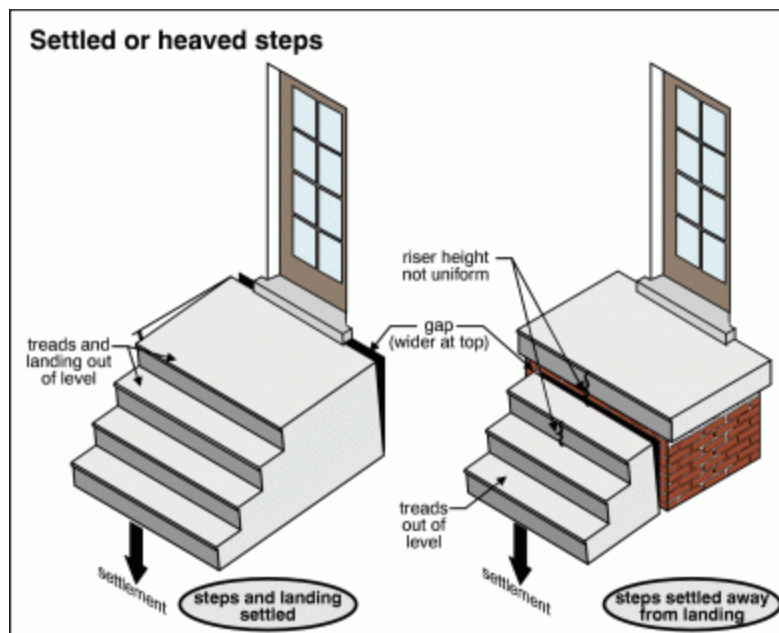
The gap should be sealed in the interim.

Implication(s): Weakened structure | Trip or fall hazard

Location: Front Exterior

Task: Repair

Time: Less than 1 year



[Click on image to enlarge.](#)



Right corner has settled



Settlement has caused a gap to open

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Settlement has caused a gap to open

LANDSCAPING \ Lot grading

Condition: • [Improper slope](#)

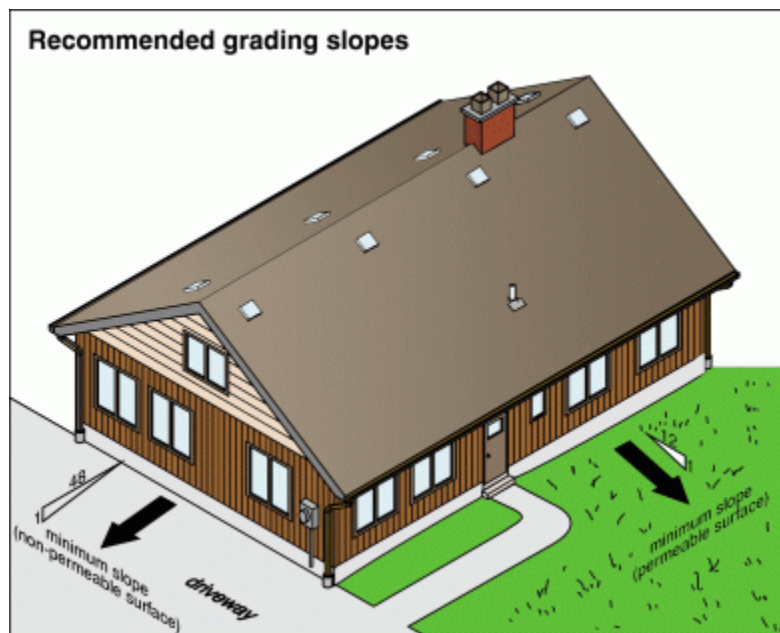
Observed the lot grading around the house favours water being drawn towards the foundations. This can cause high humidity, water infiltration and mould problems in the basement over time. See recommended guidelines for proper lot grading.

Implication(s): Chance of water damage to contents, finishes and/or structure

Location: Various Exterior

Task: Correct

Time: Less than 1 year



[Click on image to enlarge.](#)

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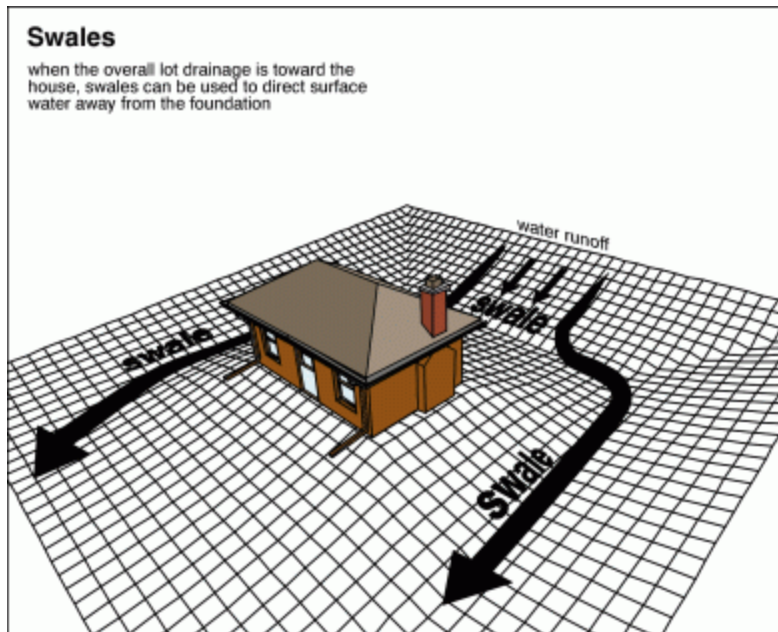
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Lot sloping towards foundation on right side



Lot sloping toward foundation in front

LANDSCAPING \ Walk and driveway

Condition: • [Improper slope or drainage](#)

Noted the driveway slope is such that water is being drawn toward the end of the garage door.

This area has settled and is causing water to pool and sink into the opening between the asphalt and the concrete slab. Water saturation can cause damage to the slab through frost heaving.

Recommend correcting the slope and sealing the gap in the interim until the driveway is redone.

Implication(s): Chance of water damage to contents, finishes and/or structure

Location: Front Exterior Garage

Task: Correct

Time: Less than 1 year

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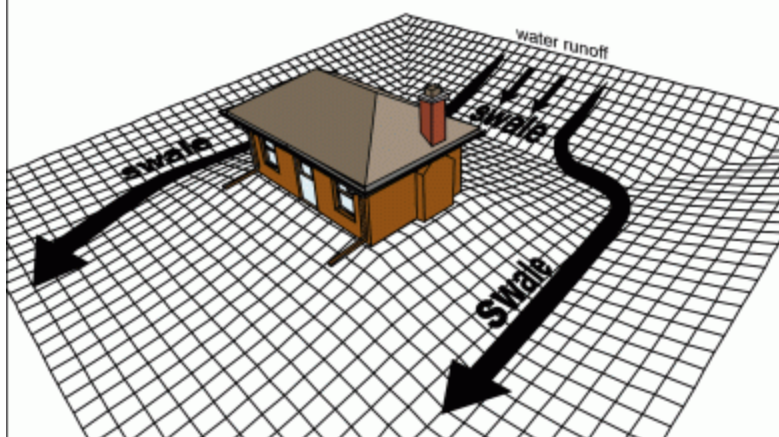
Recommended grading slopes



[Click on image to enlarge.](#)

Swales

when the overall lot drainage is toward the house, swales can be used to direct surface water away from the foundation



[Click on image to enlarge.](#)

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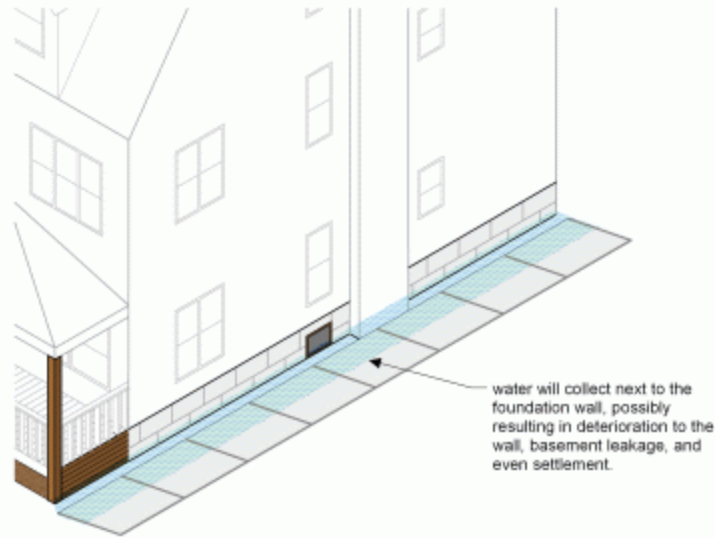
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Walk/patio sloping toward house



water will collect next to the foundation wall, possibly resulting in deterioration to the wall, basement leakage, and even settlement.

[Click on image to enlarge.](#)



Slope towards garage door



Damage to concrete

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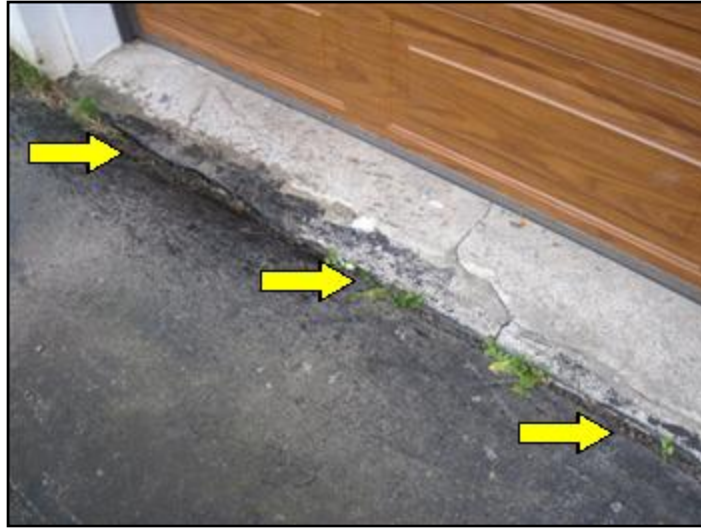
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Improper slope causing water to accumulate

Description

Configuration: • [Basement](#)

Foundation material: • [Poured concrete](#)

Floor construction:

• [Joists](#)

Only a partial view of the floor structure was visible in the furnace room.

None of the columns or beams were visible due to wall and ceiling coverings in the basement.



Partial view of floor structure

Exterior wall construction: • [Wood frame](#)

Roof and ceiling framing: • Not visible

Limitations

Inspection limited/prevented by: • The floor structure was only partially visible in the basement due to ceiling coverings. No defects or anomalies observed.

Attic/roof space: • No access

Percent of foundation not visible:

• 95 %

Most of the interior foundation walls were not visible due to wall coverings in the basement.

Recommendations

FOUNDATIONS \ Foundation

Condition: • Typical minor cracks

Noted a total of 5 cracks in the foundation.

One of the cracks was visible from the interior in the furnace room and we were able to see evidence of an epoxy injection repair.

Recommend sealing the other cracks to reduce the risk of water infiltration into the basement.

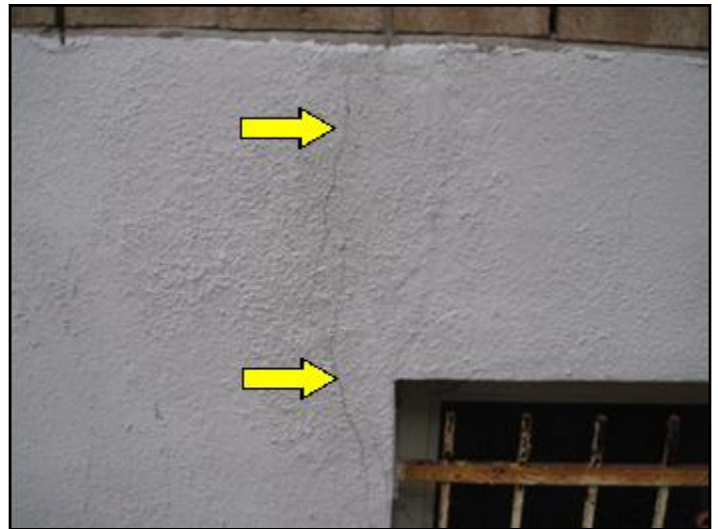
Location: Various Exterior

Task: Repair

Time: Less than 1 year



Crack rear wall



Crack right wall



Crack front wall



Crack right wall

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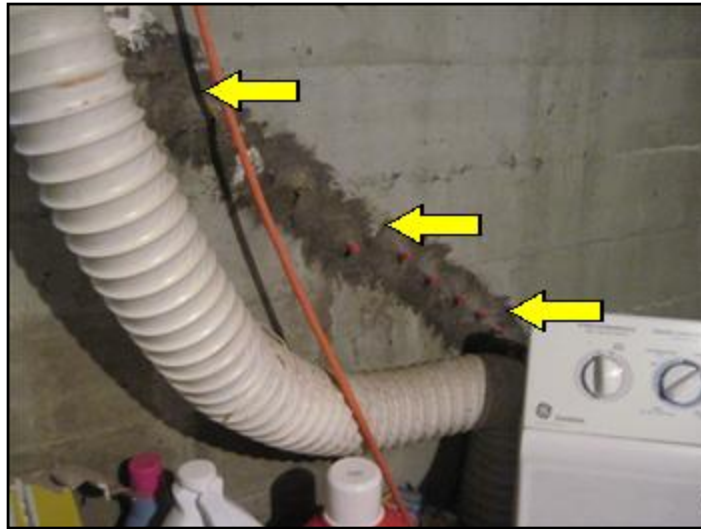
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Epoxy injection repair rear wall

Description

Service entrance cable and location: • [Overhead](#)

Service size: • [200 Amps \(240 Volts\)](#)

Main disconnect/service box rating: • [200 Amps](#)

Main disconnect/service box type and location:

• [Fuses - garage](#)



View inside main switch

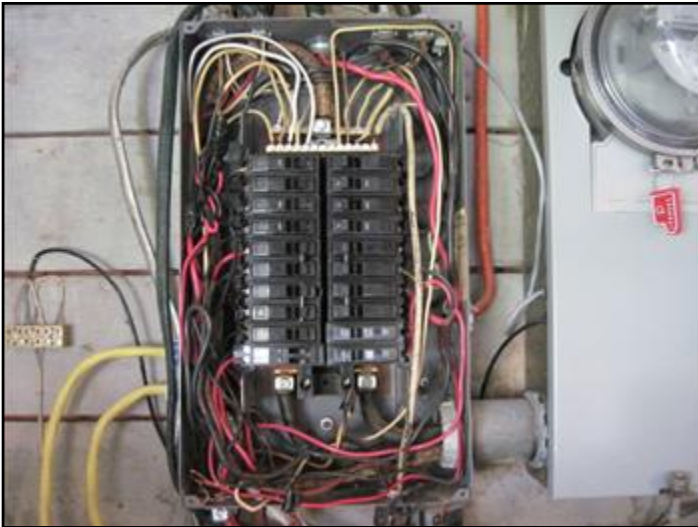


Main electrical disconnect switch

System grounding material and type: • [Copper - water pipe](#)

Distribution panel type and location:

• [Breakers - garage](#)



View inside distribution panel



Electrical distribution panel

Distribution wire material and type: • [Copper - non-metallic sheathed](#)

Type and number of outlets: • [Grounded and ungrounded - typical](#)

Circuit interrupters: Ground Fault (GFCI) & Arc Fault (AFCI): • [GFCI - bathroom](#)

Smoke detectors: • [Present](#)

Limitations

System ground: • Continuity not verified

Recommendations

SERVICE DROP AND SERVICE ENTRANCE \ Service conductors

Condition: • Observed the installation of a steel cable attached to the mast to help support the weight and tension of the electrical cable from across the street.

The steel cable is corroded and its attachment should be monitored and improved as necessary.

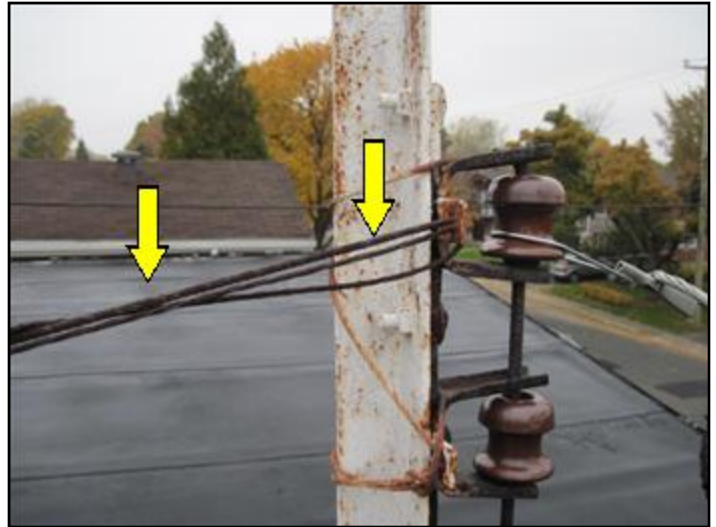
Location: Exterior Roof

Task: Monitor

Time: Ongoing



Steel cable is corroded



Steel cable holding back electrical mast



Cable attachment to roof

SERVICE BOX, GROUNDING AND PANEL \ Service box

Condition: • [Rust](#)

Observed traces of corrosion in the electrical conduit and main disconnect box.

Suspect there may have been water infiltration from the masthead on the roof inside the conduit at some point.

The current installation did not reveal any abnormalities with the roof installation that would contribute to water infiltration.

Implication(s): Electric shock | Increased fire hazard

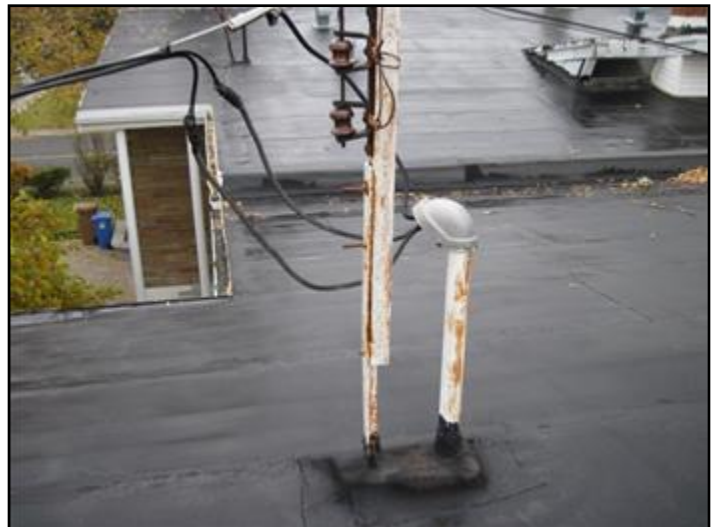
Location: Garage

Task: Monitor

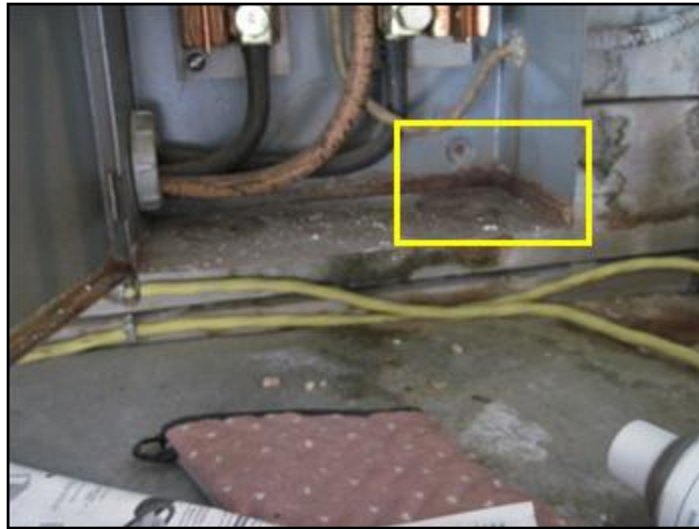
Time: Ongoing



Corrosion at base of electrical conduit



Masthead visible on roof



Corrosion inside main disconnect box

SERVICE BOX, GROUNDING AND PANEL \ Distribution panel

Condition: • [Panel crowded](#)

The distribution panel has a capacity for a maximum of 20 circuit breakers, this would normally be installed to service an 100 amp electrical entrance.

A 40 circuit panel would be the size required to properly match with the main entrance of 200 amps.

Implication(s): Electric shock | Fire hazard

Location: Garage

Task: Replace

Time: Discretionary

Condition: • [Double taps](#)

Noted three double tapped circuits in the electrical distribution panel.

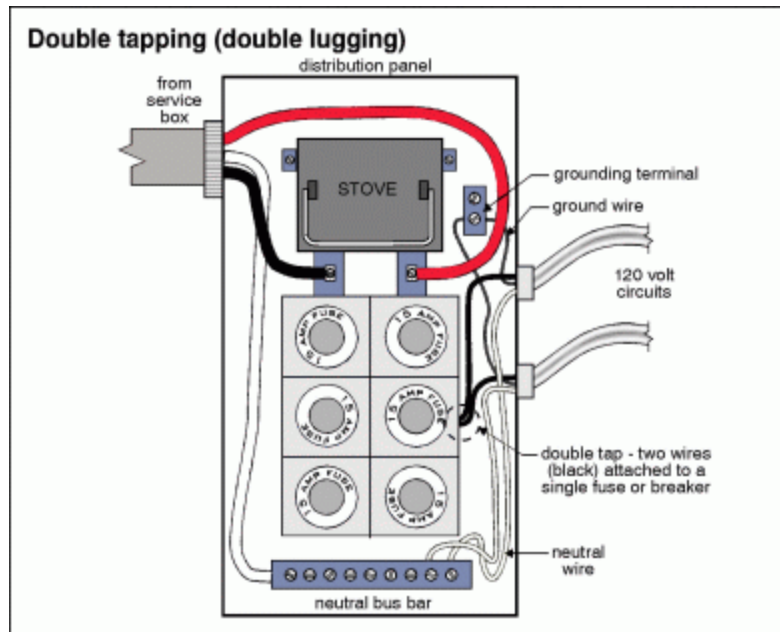
This is due to the limited capacity/number of circuits available.

Implication(s): Fire hazard

Location: Garage

Task: Monitor

Time: Ongoing



[Click on image to enlarge.](#)

DISTRIBUTION SYSTEM \ Outlets

Condition: • [GFI test faulty](#)

The GFI devices in the bathrooms failed to trip when put under test.

Recommend an electrician verify the devices and their installation.

Implication(s): Electric shock

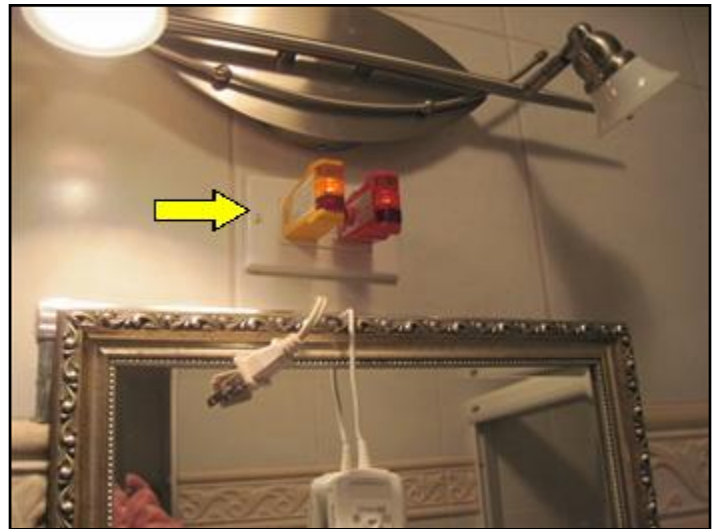
Location: Various Bathroom

Task: Further evaluation

Time: Immediate



GFI under test failed to trip



GFI under test failed to trip

HEATING

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Description

General: • A heating source is present in every room.

Fuel/energy source: • [Oil](#) • [Electricity](#)

System type:

• [Furnace](#)

The furnace is an oil fired forced air system.

The unit is a Carrier model no: 58CLA105-10112, serial no: 1599V12312

The unit was tested and functioned normally, no defects or anomalies visible.



Carrier forced air furnace



Carrier forced air furnace

• [Combination heating system](#)

Heat distribution: • [Ducts and registers](#)

Approximate capacity:

• [85,000 BTU/hr](#)

The furnace is currently at its maximum rated output.

Efficiency: • [Mid-efficiency](#)

Approximate age: • Estimate the unit to be 10 years or less.

Failure probability: • [Low](#)

Oil tank age: • 15 years

Recommendations

OIL FURNACE \ Oil tank

Condition: • The oil tank data plate indicates it was manufactured in 1995 and has a rated capacity of 910 litres.

Recommend you contact your insurer to find out their requirements for insuring oil tanks and their age limits.

Location: Rear Basement Furnace Room

Task: Further evaluation

Time: Immediate



Oil tank located in furnace room

OIL FURNACE \ Combustion air

Condition: • [Inadequate combustion air](#)

Recommend providing a fresh air intake to provide for the combustion air needs of the oil furnace.

This can help prevent back drafting and return of combustion gases under negative pressure situations.

Implication(s): Equipment not operating properly | Hazardous combustion products entering home

Location: Basement Furnace Room

Task: Provide

Time: Less than 1 year

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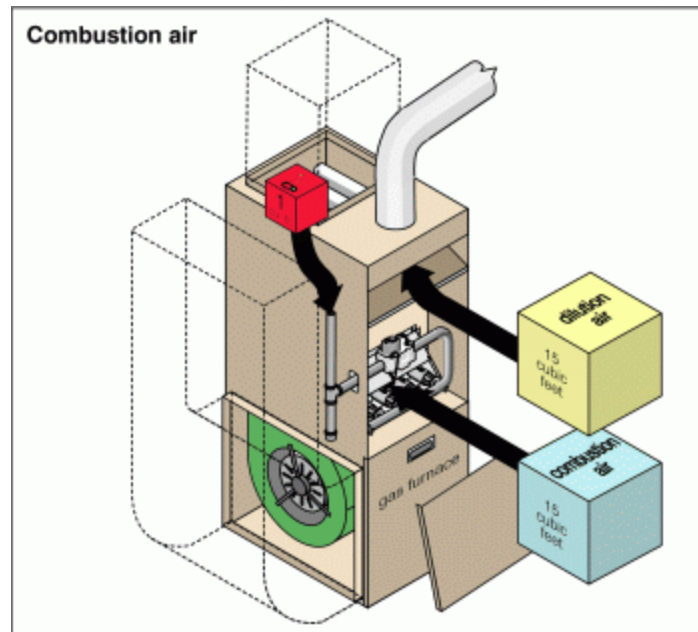
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[Click on image to enlarge.](#)

OIL FURNACE \ Electronic air cleaner

Condition: • [Dirty](#)

The furnace is equipped with an electronic air filter. The unit is functional but needs to be cleaned. There is also a mechanical disposable filter installed that is clogged with dirt and dust that should be removed.

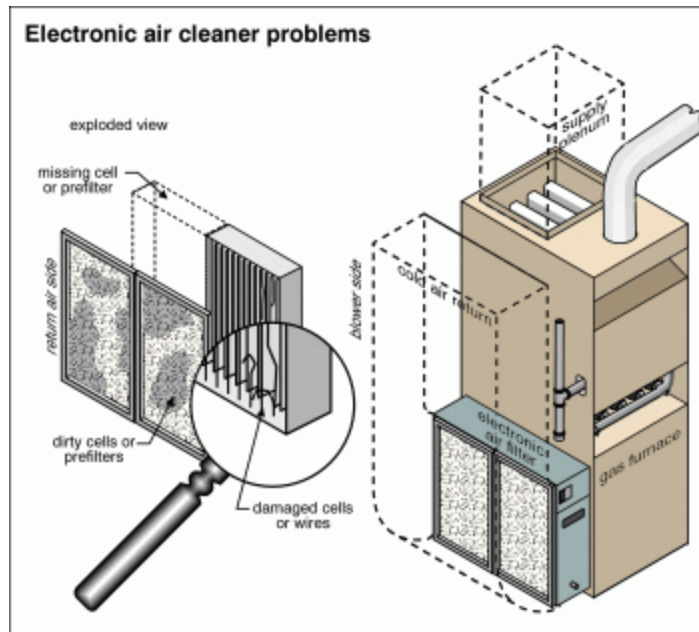
Recommend cleaning the electronic air filter every month for optimal performance or using high efficiency disposable air filters and replacing them every three months.

Implication(s): Equipment ineffective | Increased heating costs | Reduced comfort

Location: Basement Furnace Room

Task: Clean

Time: Regular maintenance



[Click on image to enlarge.](#)



Electronic air filter



Pre-filter is clogged

CHIMNEY AND VENT \ Masonry chimney cap

Condition: • [Missing](#)

Noted the absence of a chimney cap on the furnace chimney flue.

Also found traces of water infiltration at the base of the chimney clean-out due to the lack of a cap.

Implication(s): Chance of water damage to contents, finishes and/or structure | Shortened life expectancy of material

Location: Exterior Roof

Task: Provide

Time: Immediate

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Chimney cap missing

COOLING & HEAT PUMP

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Description

Heat pump:

- [Air source](#)

The house is equipped with a heat pump and connected to a bi-energy system.

The heat pump is a Carrier model no: 25HCA336A310, serial no: 1408E16895

The unit was tested (in heating mode) and functioned normally.



Heat pump condenser unit

Compressor approximate age: • 1 year

Failure probability: • [Low](#)

Limitations

Heat pump only tested in:

- Heating mode

The heat pump was tested in heating mode due to cool weather.

Recommendations

HEAT PUMP \ Compressor

Condition: • [Out of level](#)

The heat pump condensing unit is resting on a concrete pad.

Although the unit is currently level these pads have a tendency to settle or heave and cause the unit to become out of level.

Suggest monitoring yearly for any signs of movement.

Implication(s): Reduced system life expectancy | Damage to equipment

Location: Rear Exterior

Task: Monitor

Time: Ongoing

COOLING & HEAT PUMP

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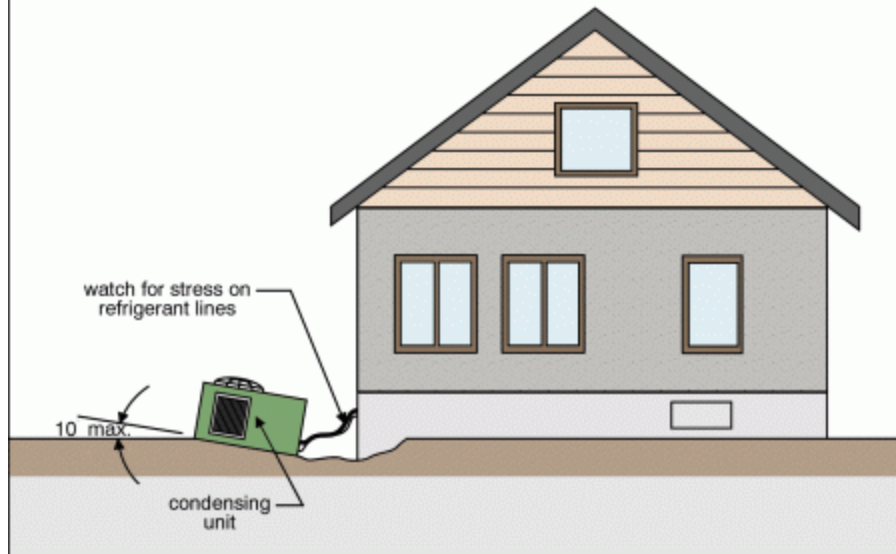
INSULATION

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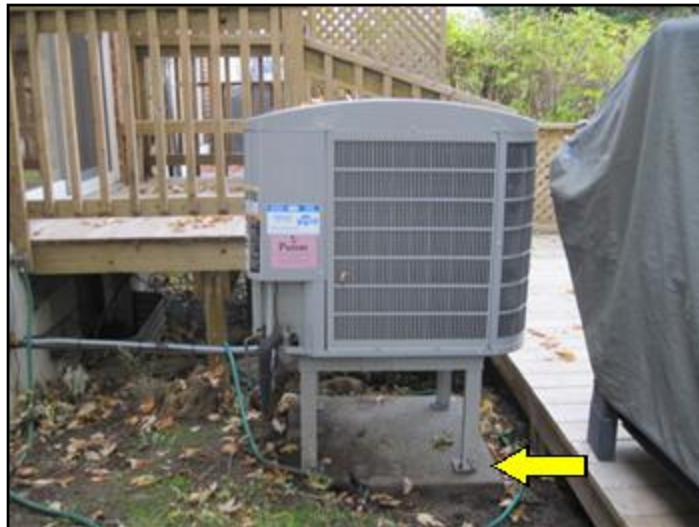
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REFERENCE

Condensing unit out of level



Click on image to enlarge.



Heat pump resting on concrete pad

HEAT PUMP \ Condensate drain line

Condition: • [Improper discharge point](#)

Observed the evaporator condensate drain line is discharging into a hole made in the concrete floor slab.

This is not recommended as it can cause unwanted excess humidity in the basement and create other problems.

Implication(s): Chance of water damage to contents, finishes and/or structure | Damage to equipment | Contaminants may enter house air

Location: Basement Furnace Room

Task: Correct

Time: Before next summer

COOLING & HEAT PUMP

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[Click on image to enlarge.](#)



Condensate line discharge point

INSULATION AND VENTILATION

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Description

Attic/roof insulation amount/value: • [Not visible](#)

Attic/roof ventilation:

- [Roof and soffit vents](#)

Noted the presence of two roof vents on the roof surface.



Roof vent on roof surface



Roof vent on roof surface

Wall insulation material: • Not visible

Foundation wall insulation material: • [Glass fiber](#)

Foundation wall insulation amount/value: • [R-12](#)

Air/vapor barrier: • [Kraft paper](#)

Limitations

Inspection prevented by no access to:

- Roof space
- Wall space
- Walls, which were spot checked only

Basement wall access limited to trap door near water main on front wall.

Description

General: • A representative sample of plumbing fixtures were verified and tested and found to function within normal parameters with the exception of those noted.

Water supply source: • Public

Service piping into house:

• [Copper](#)

Main water entrance is 1/2" copper.

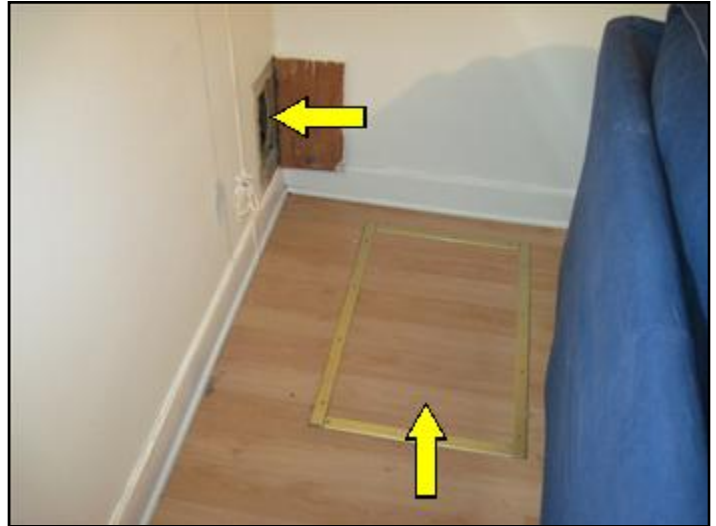
Supply piping in house: • [Copper](#) • [Plastic](#)

Main water shut off valve at the:

• Front of the basement



Main water valve



Main water valve + access panel to clean out

Water flow (pressure): • [Functional](#)

Water heater fuel/energy source: • [Electric](#)

Water heater type: • The water heater is equipped with required pressure safety release device and tubing.

Water heater type: • Owned

Tank capacity: • Rated tank capacity is 270 litres

Water heater approximate age: • Information not listed on data plate, age is unknown.

Waste disposal system: • [Public](#)

Waste piping in house: • [ABS plastic](#) • [Copper](#) • [Cast Iron](#) • [Galvanized steel](#)

Pumps: • No presence of sump pit or sump pump.

This along with the age of the house suggests there is likely no french drain system installed.

Floor drain location:

• Near water heater

Floor drain is located in the furnace room

Limitations

Items excluded from a home inspection: • Concealed plumbing

Recommendations

WASTE PLUMBING \ Drain piping - performance

Condition: • Original main sewage pipe. We found no evidence of any problems with the sewage system during the inspection. However based on the age of the house it may become necessary to replace the pipe at some point due to normal degradation of the pipe material. When replacement might be required cannot be predicted because the pipe is located underground and its condition cannot be determined.

We have good reason to suspect the main sewer pipe installed is original.

Although there was no problem with water evacuation at the time of inspection these pipes can fail due to corrosion over time and require replacement.

Only a camera scan inside the pipe can determine its condition.

Task: Further evaluation

Time: Discretionary

Condition: • [Rust](#)

An examination of the sewer backflow prevention device reveals the unit is old and quite corroded.

Corrosion can cause the device to malfunction when needed.

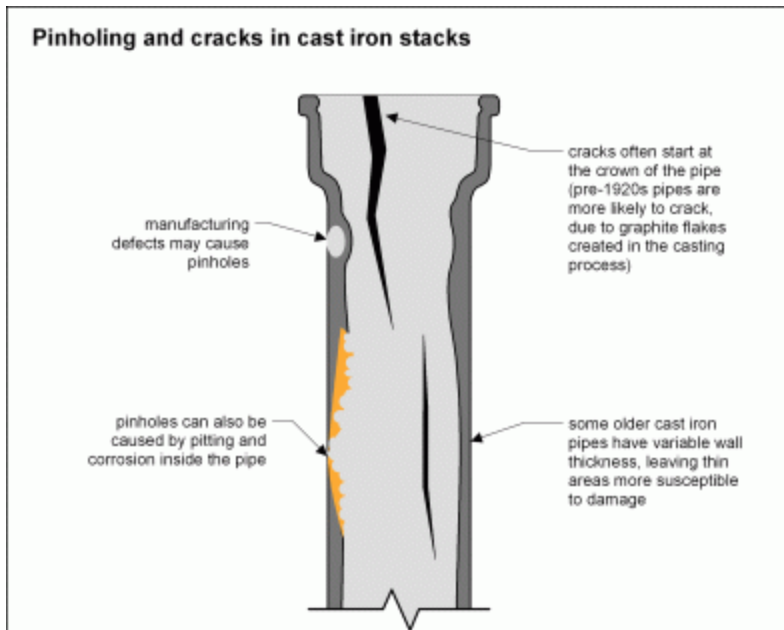
Recommend having a plumber examine the device and replace if needed.

Implication(s): Sewage entering the house

Location: Basement

Task: Further evaluation

Time: Immediate



[Click on image to enlarge.](#)



Sewer backflow prevention device

WASTE PLUMBING \ Floor drain

Condition: • Noted the garage is equipped with a conventional floor drain which can easily become clogged with sediment.

Recommend the installation of a floor drain designed specifically for garage use with a catch basin and reverse trap.

Location: Garage

Task: Replace

Time: Discretionary



Garage floor drain

Condition: • [Grate missing, rusted or obstructed](#)

Recommend the installation of a grate on the basement floor drain.

Implication(s): Chance of water damage to contents, finishes and/or structure | Trip or fall hazard

Location: Basement Furnace Room

Task: Provide

Time: Immediate



Grate missing on basement floor drain

FIXTURES AND FAUCETS \ Faucet

Condition: • [Drip, leak](#)

Observed the sink faucet in the basement bathroom is leaking.

Have the unit serviced by a plumber.

Implication(s): Chance of water damage to contents, finishes and/or structure

Location: Basement Bathroom

Task: Repair

Time: Immediate



Basement bathroom faucet leaks

Condition: • [Loose](#)

Observed the cold water faucet handle on the sink faucet is not properly secured.

Implication(s): Equipment failure

Location: Second Floor Main Bathroom

Task: Repair

Time: Immediate



Faucet handle not properly attached

Description

General: • A representative number of kitchen cabinet doors and drawers were verified and found to be in good working order.

Major floor finishes: • All visible floor coverings were found to be in good condition.

No defects or anomalies observed.

Major floor finishes:

• [Hardwood](#)

• [Resilient](#)

Small section of resilient floor covering installed in front vestibule.

• [Laminate](#)

Floor covering in basement is laminate floating floor.

• [Ceramic](#)

Major wall finishes: • [Gypsum board](#)

Major ceiling finishes: • [Stucco/texture/stipple](#) • [Gypsum board](#)

Windows: • A representative number of windows were tested and found to be operational with the exception of those noted.

Windows: • [Fixed](#) • [Sliders](#) • Wood • Aluminum

Glazing:

• [Single](#)

Single glazing on the window located in the furnace room.

• [Double](#)

Exterior doors - type/material: • All exterior doors found to be in good condition.

No defects or anomalies noted.

Exterior doors - type/material: • [Sliding glass](#) • [Storm](#) • Metal-clad • Garage door - metal

Party walls:

• [Not visible](#)

The material separating the two houses is not visible.

Evidence of basement leakage: • No evidence of any basement leakage.

Range fuel: • Electricity

Appliances: • Range hood

Laundry facilities: • All required laundry installations are present.

Note: The laundry installations are located in the basement furnace room.



Washer installation



Dryer installation

Limitations

General: • Laundry installations confirmed present but not tested in service.

Recommendations

FLOORS \ Concrete floors

Condition: • [Cracked](#)

Observed several cracks in the garage floor slab.

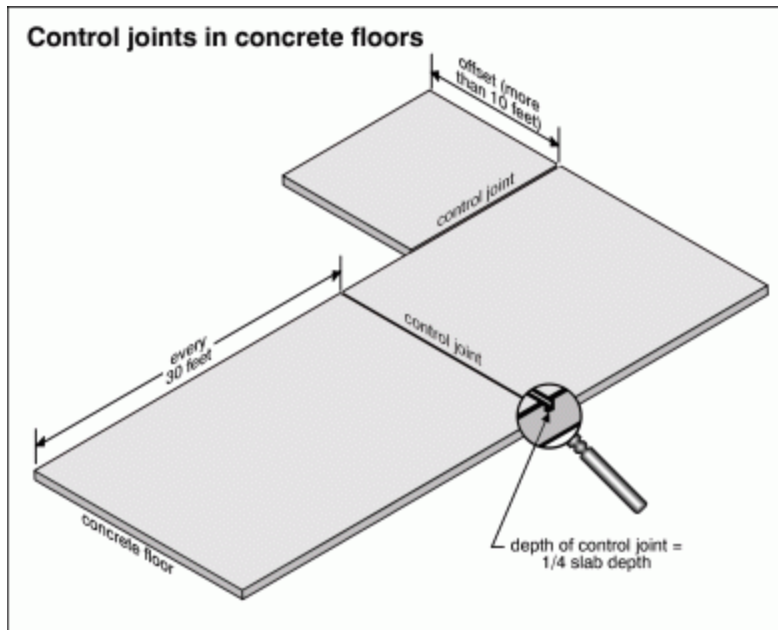
These appear to be mostly settlement cracks and there is not enough evidence to suggest a pyrite test is required.

Implication(s): Cosmetic defects | Trip or fall hazard | Difficult access

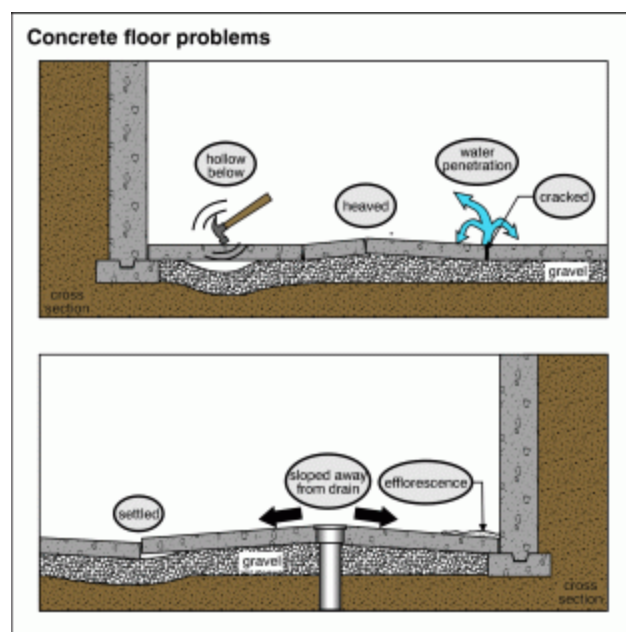
Location: Garage

Task: Monitor

Time: Ongoing



[Click on image to enlarge.](#)



[Click on image to enlarge.](#)

INTERIOR

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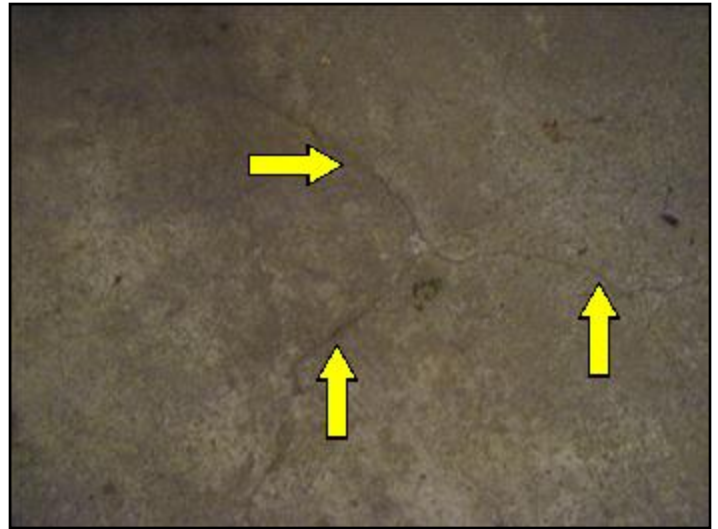
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Cracks in garage floor slab



Cracks in garage floor slab

CEILINGS \ General

Condition: • [Water damage](#)

Observed what appears to have been water infiltration and repairs performed under a skylight.

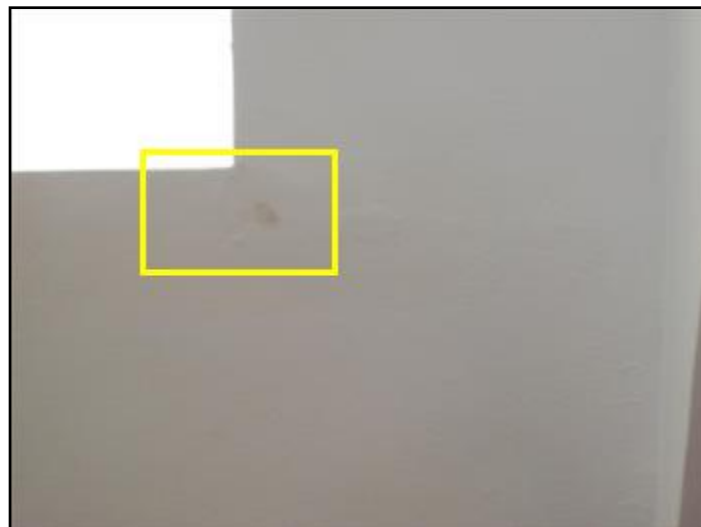
A test of the area using a GE Protimeter Surveymaster moisture sensor revealed no presence of moisture at the time of inspection.

Implication(s): Cosmetic defects | Chance of movement

Location: Second Floor Skylight

Task: Monitor

Time: Ongoing



Area tested for moisture

WINDOWS \ General

Condition: • [Original lower quality units](#)

Observed the basement windows are lower quality units that should be replaced.

Implication(s): Increased heating costs | Increased maintenance costs

Location: Throughout Basement

Task: Replace

Time: Discretionary

WINDOWS \ Skylight

Condition: • Observed the presence of condensation inside the skylight glazing suggesting the units have lost their hermetic seal.

The skylights are old and due for replacement.

Task: Replace

Time: Discretionary



Skylight seen from rooftop



Skylight seen from rooftop

STAIRS \ Handrails

Condition: • [Missing](#)

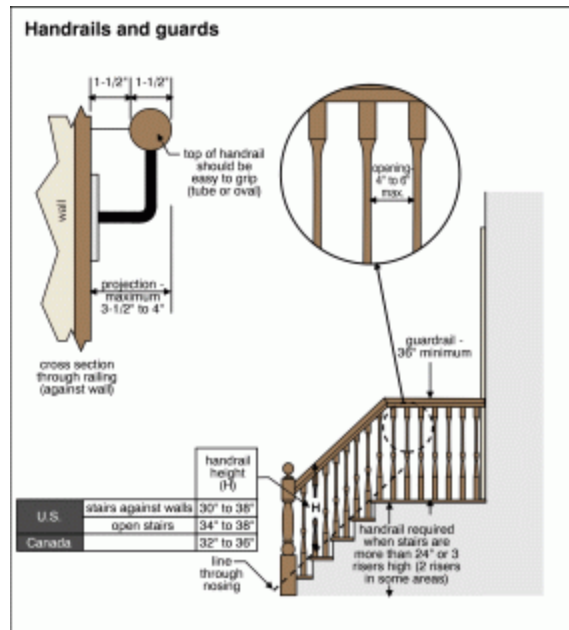
Noted a handrail is missing in one of the basement staircases.

Implication(s): Fall hazard

Location: Basement Staircase

Task: Provide

Time: Immediate



[Click on image to enlarge.](#)



Handrail missing

BASEMENT \ Wet basements - vulnerability

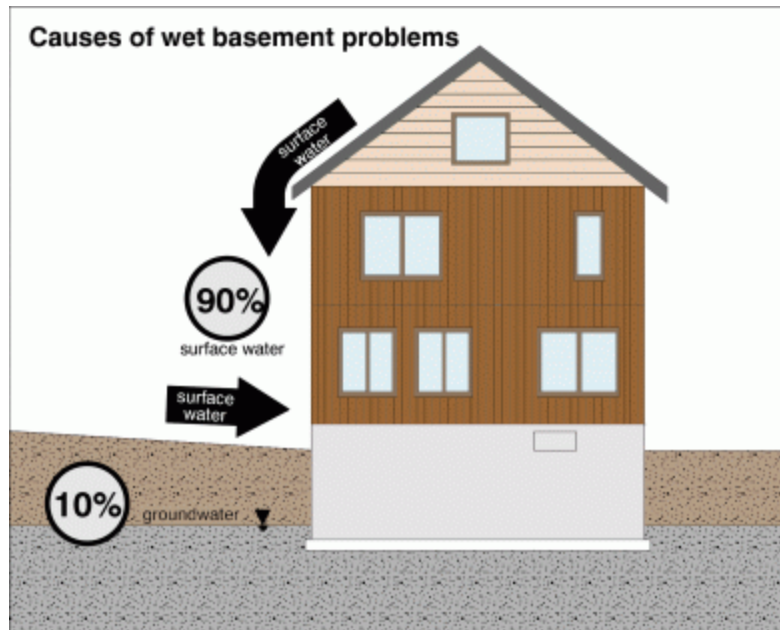
Condition: • [Poor grading](#)

Since the house basement is finished it is extremely important to keep water away from the foundations.

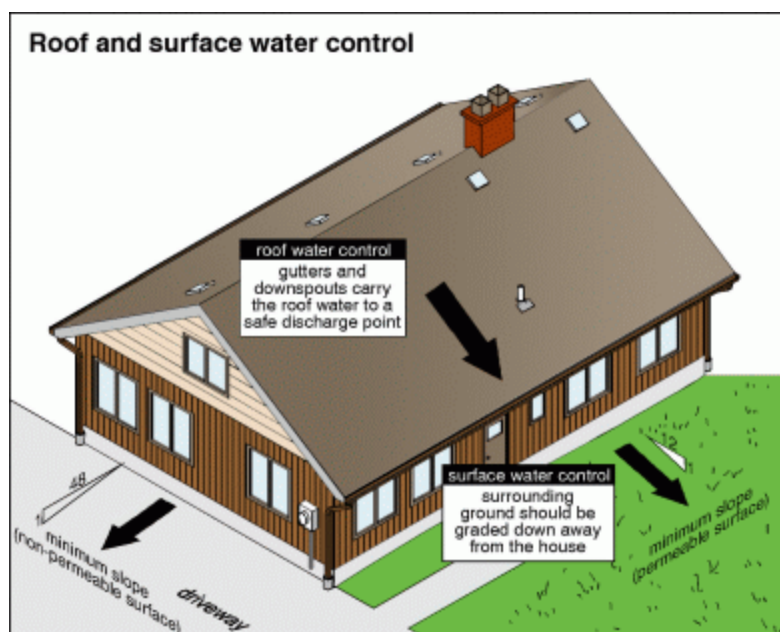
Most basement problems are caused by water infiltration from the exterior.

Pro-active management of exterior water, lot grading and condensation from the interior can help reduce the risk of problems.

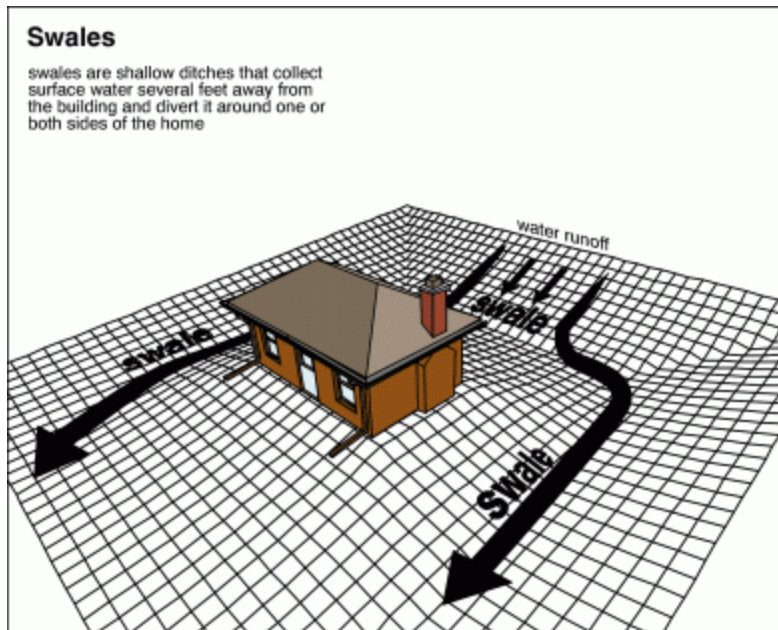
Implication(s): Chance of water damage to contents, finishes and/or structure



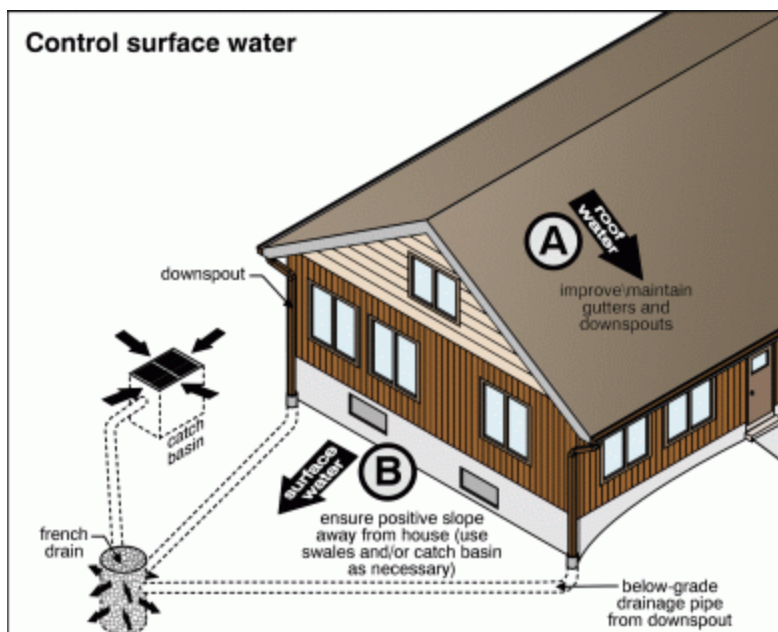
[Click on image to enlarge.](#)



[Click on image to enlarge.](#)



[Click on image to enlarge.](#)



[Click on image to enlarge.](#)

EXHAUST FANS \ Exhaust duct

Condition: • [Termination point not found](#)

Noted exhaust fans installed in the bathrooms but no clear exhaust point to the exterior.

Further examination should be undertaken to ensure interior air is not being vented into a cavity where damage can be caused from condensation.

Implication(s): Chance of condensation damage to finishes and/or structure

Location: Various

Task: Further evaluation

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Time: Immediate



Main bathroom exhaust fan



Basement bathroom exhaust fan

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The links below connect you to a series of documents that will help you understand your home and how it works. The body of the report contains specific information about your home. Many report items have related links that provide you more information about that particular component or issue.

This Library is a broad reference tool. For example, if you want to know the difference between asphalt shingles and wood shingles, you can look in here. If you have a conventional furnace and are trying to decide whether to upgrade to a mid-efficiency or high-efficiency furnace, this information may be helpful. If your home does not have air conditioning, but you are thinking about adding it, there is helpful information for you in here.

The Library is broken into nine house systems: Roofing, Exterior, Structure, Electrical, Heating, Cooling, Insulation, Plumbing and Interior. Click on any link to read about that system.

- [1. Roofing and Chimney](#)
- [2. Exterior](#)
- [3. Structure](#)
- [4. Electrical](#)
- [5. Heating](#)
- [6. Cooling](#)
- [7. Insulation](#)
- [8. Plumbing](#)
- [9. Interior](#)